



Proposal By: Derek Muelken (Capital Construction) 952-465-2818 Address: 501 W Travelers Trail Burnsville, MN 55337

Date: April 29th, 2022

Project: Hadley Crossing Homeowners Association Oakdale, MN

Scope:

- a. 19 Addresses are incomplete and require inspection and repairs. (See pricing breakdown)
- b. 31 Addresses require permits for each address and inspection by the city of Oakdale. (See pricing breakdown)
- c. Materials are on site to finish the project. Any additional materials would be an additional cost.
- d. Address/Inspection/Repair List provided in "For Permitting.xlsx"

Notes & Scope Conditions:

(a) Engineering report provided by Collaborative Design Group dated 9/15/2020 details the repairs to be made at east location. The plan is to follow the engineering specifications detailed in this report while collaborating in circumstances that may require a greater repair.

(b) 31 of the 50 addresses have already had work performed on them. It is unknown if the work was done properly or meets the repair scope. No permits were taken out for any of these addresses. The city will want visual evidence and permits pulled.

(c) Materials onsite the day of 4/19/22 are as follows; (32) 20'14" LSL, (19) 4x4x8 GT Posts, (2) Boxes of Metal Coil (non-matching), (2) Rolls of 7'x50'60 mil Rubber EPDM, 3/4's of a Box of 3/4 Maple Colored J Channel, (7) 2"x8"x10' Pine, (1) Bag of 5min Drywall Mix.

Any materials additionally required to complete this work would be added to the cost of each repair. example: No rubber boots are available onsite.

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Further Details: Not all addresses will require the same repairs and site conditions per building appear to differ. City compliance when repairing structural elements of a building can require updates to present code including changes to framing, shoring, anchoring and waterproofing. It is not yet clear how or what the inspectors will require, although based on our present dialog they are willing to work with us on the condition we pull permits and have all past and present work inspected.

Flat roof systems that begin to delaminate, crack, leak and/or have poor flashing elements require replacement. Typical life span is 20-25 years when installed correctly. In addition, EPDM roofs should be inspected and maintained on an annual basis. Neglecting upkeep and regular maintenance leads to deterioration at an accelerated rate. Repairs and modifications are not warrantable under these circumstances.

Pricing Breakdown:

- **\$15,515 Per Address (includes header replacement)**
- **\$11,310 Per Address Minus Header Replacement**
- **\$4,205 Inspection (open/close)**
- **\$2,175 (close only)**
- **Permitting costs in addition per address at current city rates (additional)**
- **Additional work will be documented, disclosed and price/costs given prior to repair with approval before proceeding in the form of a "Change Order".**

(We do not include garage door replacements)

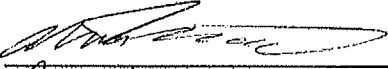
What is Not Covered: Conditional Change Orders. City inspectors often require engineering stamps, additional supports or constructions features to permit and pass your project. We submit our drawings and plans with our permits, but that does not guarantee the city won't make changes during or after construction. We make every effort to maintain total transparency and keep all parties informed as changes arise. Additional charges can occur and are due before the work/corrections are made and a work order change is signed.

Change Orders. Everything the customer expects the contractor to do has been included, in writing, in this agreement. Contractor's obligations under this agreement cannot be changed unless they are changed on a separate change order form and signed by both the contractor and the customer.

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Concealed Conditions. This contract and the price are based solely on this contractor's observation at the time of this agreement execution. If additional concealed conditions are discovered once the work has commenced, which conditions were not visible at the time of this contract's execution, the contractor will identify the unforeseen conditions and execute a change order for any additional work. The customer agrees to pay for any unforeseen or unexpected extra costs.

The labor costs of this contract are good for the term of 90 Days from execution of a written agreement. Material costs are only good for the next 30 days. Commodities frequently change in price and cannot be guaranteed.

Authorized HOA Member Signature: 

Date 6/17/22

President

contingent on financing plans per governing documents.

Capital Construction Representative Signature: 

Date 6/17/22